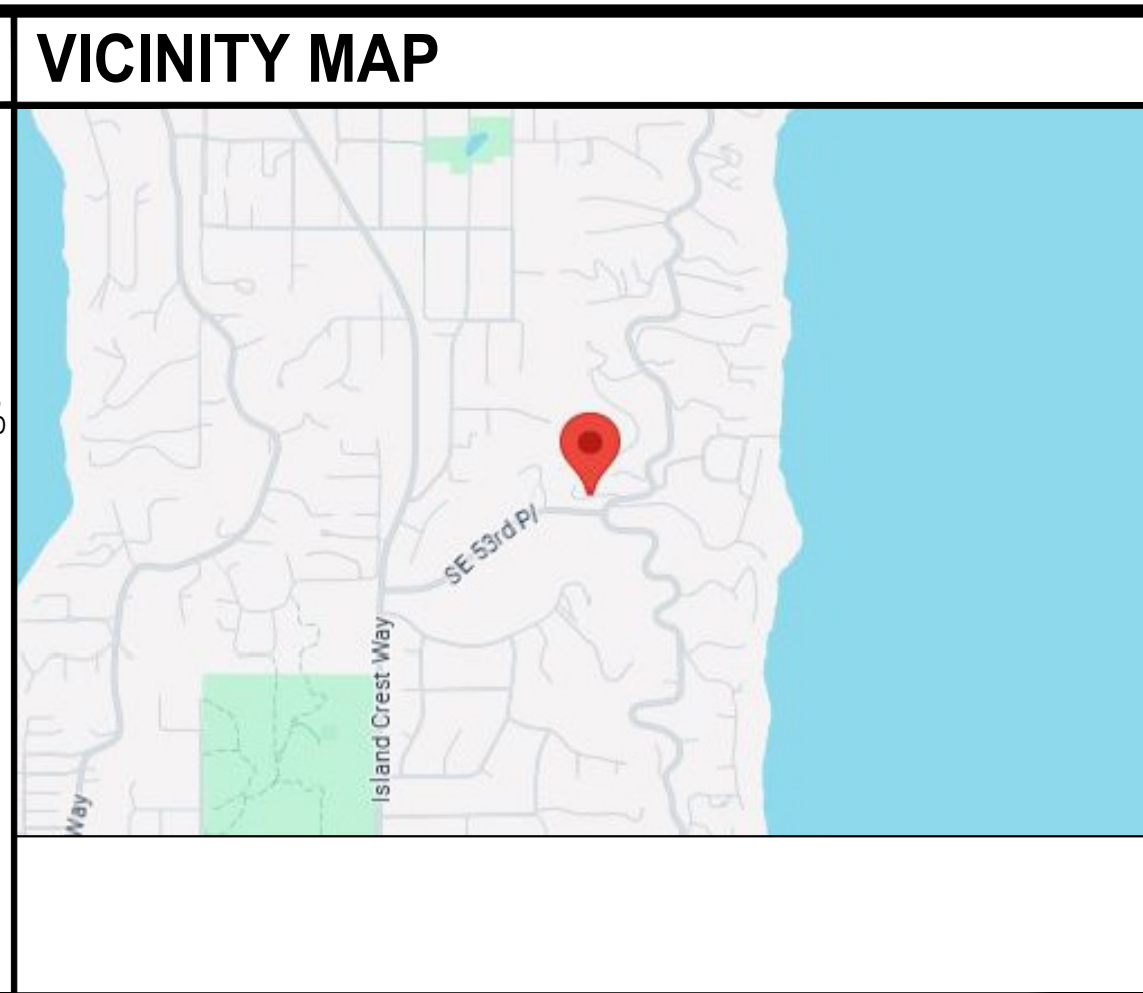


PROJECT DATA	
PROJECT ADDRESS:	5255 E MERCER WAY MERCER ISLAND, WA 98040
PROPERTY TAX ID NUMBER:	192405-9019
SCOPE OF WORK:	REMODEL AND 235 SF ADDITION OF CONDITIONED SPACE TO THE EXISTING UPPER FLOOR ON THE EXISTING DETACHED GARAGE WITH NEW SITE STAIRS TO UPPER FLOOR.
ZONING:	R-15
CONSTRUCTION TYPE:	TYPE V B
SEISMIC ZONE:	3
NUMBER OF STORIES:	2 STORY HOUSE + DETACHED GARAGE W/ UPPER FLOOR
FIRE PROTECTION:	-
BUILDING HEIGHT:	30 FT ABOVE AVERAGE BUILDING ELEVATION (FLAT ROOF) 35 FT ABOVE AVERAGE BUILDING ELEVATION (SLOPED ROOF)
LOT AREA:	16,553 SF
SETBACKS:	FRONT LOT LINE = 20 FT REAR LOT LINE = 25 FT SIDE LOT LINE = 17 FT TOTAL (5.6FT MIN)

PROJECT TEAM	
OWNER:	JEFFREY ROGERS 5255 E MERCER WAY MERCER ISLAND, WA 98040 PHONE: 425-451-7003 CONTACT: BRAD STURMAN
ARCHITECT:	STURMAN ARCHITECTS, INC. 345 118TH AVE SE SUITE 203 BELLEVUE, WA 98005 PHONE: 425-451-7003 CONTACT: BRAD STURMAN
STRUCTURAL:	L120 ENGINEERING & DESIGN 13150 91ST PL NE KIRKLAND, WA 98034 PHONE: 425-336-3313 CONTACT: MANS THURFJELL
GEOTECH:	GEOTECH CONSULTANTS, INC. 2401 10TH AVE E SEATTLE, WA 98102 PHONE: 425-747-5616 CONTACT: MARG MCGINNIS

SHEET INDEX	
A1.0	SITE PLAN & PROJECT DATA
A2.0	GARAGE FLOOR PLAN
A2.1	GARAGE UPPER FLOOR ADU PLAN
A2.2	ROOF PLAN, ROOF VENT CALCULATIONS, DOOR AND WINDOW SCHEDULE
A3.0	ELEVATIONS
A4.0	BUILDING SECTIONS
A5.0	WALL SECTIONS
A6.0	DETAILS
AB1	GARAGE AND GARAGE UPPER FLOOR AS BUILT
S-0	STRUCTURAL COVER SHEET
S-1	STRUCTURAL GENERAL NOTES
S-2	FOUNDATION PLAN
S-3	FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN
S-4	SECOND FLOOR FRAMING PLAN
S-5	SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN
S-6	ROOF FRAMING PLAN
SD-1	STRUCTURAL DETAILS

2021 ENERGY CREDITS		
CREDITS REQUIRED: PROJECT IS A REMODEL AND ADDITION WITH 235 SF OF ADDED HEATED SPACE, THEREFORE 2.0 CREDITS ARE REQUIRED		
SUMMARY OF TABLE R402.3		
CREDITS	OPTION	DESCRIPTION
1.0	1.2	VERTICAL PENETRATION U = 0.25, FLOOR = R38, SLAB ON GRADE AND BELOW SLAB ON GRADE = R10 AT PERIMETER AND ENTIRE SLAB, SINGLE RAFTER CEILING = R60
0.5	5.3	ENERGY STAR RATED GAS OR PROPANE WATER HEATER WITH A MIN UEF OF 0.8
TOTAL CREDITS: 1.5		



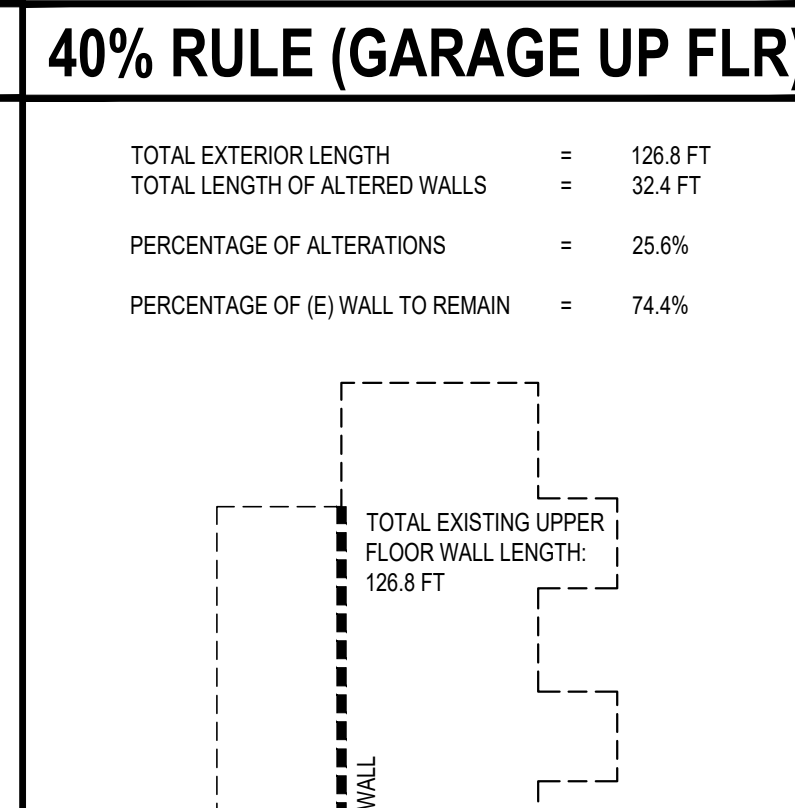
(E) WALL INSULATION	
EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION WHILE MAINTAINING CODE REQUIRED VENTILATION CLEARANCES: 2X4 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-15 AND 2X6 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-21.	

ENERGY NOTES	
CODE:	2021 W.S.E.C. & 2021 IRC, WAC 51-11R
CLIMATIC ZONE:	ZONE #4C
SPACE HEAT TYPE:	EXISTING GAS FORCED AIR FURNACE
INSULATION VALUES PER TABLE R402.1.1:	WALLS: CODE MIN FROM R402.1.3: R-20.5 OR 13-1/2" FLAT ATTICS/CEILINGS: R-60 VAULTED CEILINGS: R-38 FLOORS (OVER UNHEATED SPACES): R-30 SLAB ON GRADE: R-10 BELOW GRADE WALLS: R-10/15/21+5TB PENETRATION U FACTOR: .25 SKYLIGHT U FACTOR: .50
PRESCRIPTIVE METHOD:	UNLIMITED OPTION
THERMAL STANDARDS FOR OPENINGS:	MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION R402.4.3 OF THE WASHINGTON STATE ENERGY CODE
AIR INFILTRATION:	EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES. OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE
MOISTURE CONTROL:	WALLS: VAPOR RETARDER BONDED TO BATT INSULATION. INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH. OR, VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE) ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE). INSTALL CONTINUOUSLY CRAWL SPACE, 6 MIL POLYETHYLENE
VENTILATION:	ATTICS WITH LOOSE FILL: N.A. BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE ENCLOSED JOIST OR RAFTER SPACES: PROVIDE MINIMUM 4" OF CLOSED CELL SPRAY FOAM AGAINST EXTERIOR SHEATHING FOR INSULATION AND AIR SEALING. FILL REMAINING CAVITY WITH BATT INSULATION TO MINIMUM R-38
HEATING & COOLING:	NEW ELECTRIC HEAT PUMP WITH MIN. HSPF OF 9.5
TEMP. CONTROL:	FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FAHRENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE AND 7 DAY PROGRAMMABLE (MINIMUM 5+2).
DUCT INSULATION:	THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH SECTION 403.3 OF THE 2021 WASHINGTON STATE ENERGY CODE. a. ALL HEATING DUCTS OUTSIDE THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED WITH A MIN. OF R-6. ALL SEAM JOINTS SHALL BE MASTICED OR TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER WSEC. b. DUCTS WITHIN A CONCRETE SLAB OR IN THE GROUND SHALL BE INSULATED TO R-10, WITH INSULATION DESIGNED TO BE USED BELOW GRADE.
LIGHTING:	RECESSING LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED.
PIPE INSULATION:	NON RECIRCULATING HOT AND COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED TO R-6 MIN. PLUMBING OR MECHANICAL CANNOT DISPLACE THE REQUIRED INSULATION.

LEGAL DESCRIPTION	
PARCEL B MERCER ISLAND SHORT PLAT NO 7-01-04 REC NO 790080001 SD PLAT DAF - W 200 FT OF N 100 FT OF S 200 FT OF GL 1 SD SEC 8 POR OF S 100 FT SD GL LY WLY OF E-MERCER WAY TOW POR LOT 7 HATTEN VIEW ESTATES LY WITHIN GL 2 SD SEC	
Plat Block: Plat Lot:	

LOT COVERAGE & HARDSCAPE							
GROSS LOT AREA IS 16,553 SF							
LOT COVERAGE	MAIN STRUCT. & ROOF S.F.	DETACHED GARAGE	COVERED DECK	DRIVES/PARKING	TOTAL LOT COVERAGE	% LOT COVERAGE	
EXISTING LOT COVERAGE	2,278.1 SF	1,099.4 SF	393.5 SF	3,026.2 SF	6,796.2 SF	41.1%	
PROPOSED LOT COVERAGE	2,278.1 SF	1,086.7 SF	393.5 SF	3,014.6 SF	6,773.9 SF	40.9%	
CHANGE	0 SF	-12.7 SF	0 SF	-11.6 SF	-24.3 SF	-0.2%	
% ALLOWED LOT COVERAGE						5,793.6 SF ALLOWABLE	35%

GROSS FLOOR AREA (GFA)	
LOT SIZE	= 16,553 SF
GFA THRESHOLD	= 6,621.2 SF (40% LOT AREA) OR 12,000 SF (WHICHEVER IS SMALLER)
EXISTING GFA:	HOUSE: 1,900 SF UPPER FLOOR: 1,680 SF OUTDOOR ROOM: 393.5 SF
GARAGE:	MAIN FLOOR: 871.9 SF UPPER FLOOR: 494.5 SF
EXISTING TOTAL:	= 5,339.9 SF
EXISTING TOTAL IS 5,339.9 SF WHICH IS 32.3%	
PROPOSED GFA:	HOUSE: 1,900 SF UPPER FLOOR: 1,680 SF OUTDOOR ROOM: 393.5 SF
GARAGE:	MAIN FLOOR: 871.9 SF UPPER FLOOR: 729.5 SF
PROPOSED TOTAL:	= 5,574.9 SF
PROPOSED TOTAL IS 5,574.9 SF WHICH IS 33.7%	
*HOUSE FLOOR AREAS TAKEN FROM KING COUNTY PARCEL VIEWER*	



- ### GENERAL NOTES
- CODE COMPLIANCE  
ALL WORK SHALL COMPLY WITH THE 2021 IRC, 2021 WSEC, 2021 IMC, 2021 IFGC, 2021 IFC, 2021 UPC, 2021 IPMC, 2020 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND WITH ALL LOCAL CODES AND ORDINANCES.
  - DIMENSIONS  
DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.  
UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 6" +/- OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.  
VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
  - DOCUMENT REVIEW/VERIFICATION  
CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.  
ROUGH OPENINGS/BACKING:  
VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.  
FURRING:  
PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.  
GRADES: VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).  
FLOOR LINES: "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.  
REPETITIVE FEATURES: OFTEN DRAWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN.  
DOORS:  
DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.  
WOOD MEMBERS IN CONTACT WITH CONCRETE, AND/OR EXPOSED TO WEATHER:  
TO BE PRESSURE TREATED, TYPICAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 6", TYPICAL.  
FRAMING:  
ALL NEW INTERIOR FRAME PARTITIONS TO BE 2X4 @ 16" O.C., & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 @ 16" O.C., UNLESS OTHERWISE NOTED. VERIFY W/ STRUCTURAL DRAWINGS.
  - VENTILATION:  
VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE. BATHROOM/UTILITY ROOM FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK.  
FLEX DUCTING IS NOT ALLOWED.  
ALL EXHAUST FANS/VENT HOODS OVER 400CFM SHALL HAVE A MAKE-UP AIR DEVICE W/ DAMPER STARTING AUTOMATICALLY AND RUNNING CONTINUOUSLY WITH THE FAN CAPABLE OF SUPPLYING AN EQUIVALENT AMOUNT OF AIR.  
FLUES: FLUES TO BE LOCATED MINIMUM 2" FROM ALL COMBUSTIBLE MATERIALS.  
DOWNSPOUTS: LOCATE NEW DOWNSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS.
  - OTHER DOCUMENTATION  
REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES, AND SYMBOLS.
  - PROTECTION  
PROTECT ALL EXISTING FINISHES AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT ADDITIONAL COST TO OWNER.
  - PERMITS  
SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT.  
ROOFING: PROVIDE NEW ROOFING TO MATCH EXISTING.  
EXHAUST DUCTS: PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST DUCTS.  
PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE ROOM PER UMC 703.
  - APPLIANCES:  
CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.  
WATER FLOW:  
SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.  
SMOKE DETECTORS: SMOKE & CARBON MONOXIDE DETECTORS THROUGHOUT NEW CONSTRUCTION.  
NFA 72 MONITORED FIRE ALARM SYSTEM.  
A NFA 72, CHAPTER 29 MONITORED FIRE ALARM SYSTEM IN COMPLIANCE WITH NFPA 72 AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.
  - FIRE BLOCKING:  
FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION PER 2018 IRC SECTION R302.11: 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, SPECIFICALLY VERTICALLY @ CEILING AND FLOOR LEVELS; AND HORIZONTALLY @ INTERVALS NOT EXCEEDING 10 FEET, 2) AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES; 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT T.O. & B.O. RUN; 4) AT OPENINGS AROUND VENTS, PIPES, ETC. AT CEILING AND FLOOR LEVEL.

HARDSCAPE	PATHWAY	STAIRS	ROCKERIES	DECKS	TOTAL HARDSCAPE	% HARDSCAPE	
EXISTING HARDSCAPE	345.1 SF	52.5 SF	11.6 SF	299.3 SF	708.5 SF	4.3%	
PROPOSED HARDSCAPE	345.1 SF	131.5 SF	11.6 SF	299.3 SF	787.5 SF	4.8%	
CHANGE	0 SF	+89 SF	0 SF	0 SF	+89 SF	+0.5%	
% ALLOWED HARDSCAPE						1,489.8 SF ALLOWABLE	9%

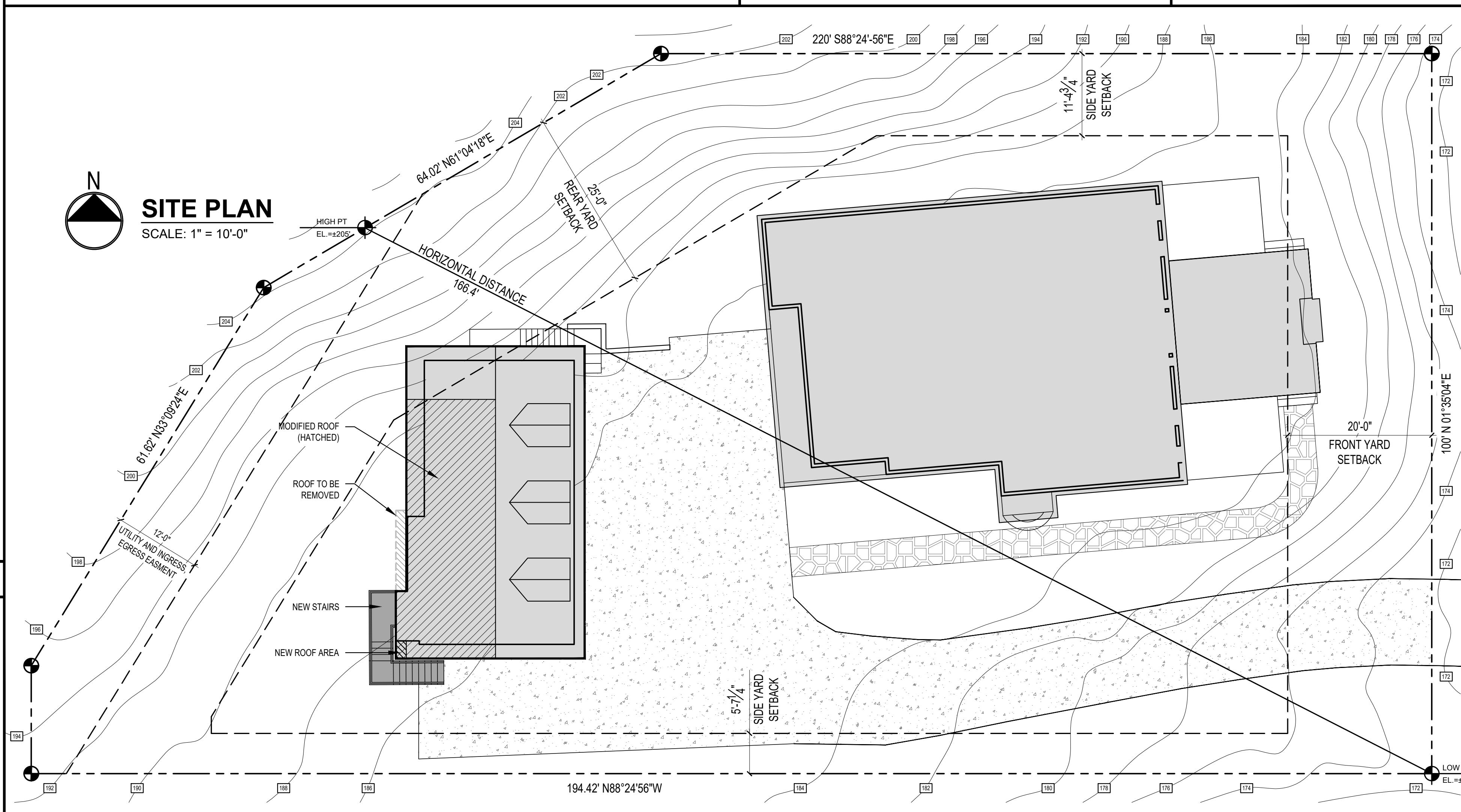
HIGHEST EL: +/-205'  
LOWEST EL: +/-169'  
ELEVATION DIFFERENCE= 36'

36' DIVIDED BY 166.4' (HORIZ. DIST. BTWN. HIGHEST & LOWEST ELEV.) = 216'

LOT SLOPE IS 21.6%, WHICH IS MORE THAN 15% BUT LESS THAN 30%, THUS MAX LOT COVERAGE IS 35%

\*NOTE\*  
CONTOURS TAKEN FROM MI GIS

DUTY OF COOPERATION	
RELEASE AND ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, CONTRACTOR, AND STURMAN ARCHITECTS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO STURMAN ARCHITECTS. FAILURE TO DO SO SHALL RELIEVE STURMAN ARCHITECTS FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES.	
ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF STURMAN ARCHITECTS ARE UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE STURMAN ARCHITECTS OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING FROM SUCH ACTIONS.	



### WHOLE HOUSE VENTILATION

- WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY ERV/HRV W/ INTEGRAL FANS, PROVIDING MIN. 78 CFM RUNNING CONTINUOUSLY PER 2021 IRC TABLES M1505.4.3 (182). FAN SHALL BE LESS THAN .35 WATT PER CFM AND RUN CONTINUOUSLY, AND HAVE A SONE RATING OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE INDEPENDENTLY OF HEATING SYSTEM.
- SYSTEM SHALL HAVE A 5" SMOOTH FRESH AIR DUCT W/ LOUVER & SCREEN CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE AIR HANDLER AND SOUND INSULATED. ALL SUPPLY AND RETURN DUCTS IN INTERIOR SPACES SHALL ALSO BE INSULATED FOR SOUND.
- SHALL HAVE A FILTER WITH A MERV OF AT LEAST 6 INSTALLED IN AN EASILY ACCESSIBLE LOCATION.
- FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF ODORS OR FUMES, MIN 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY FROM ROOMS W/ FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPACES, AND GARAGES.
- AIRFLOW FOR WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY UNDERCUTTING INTERIOR DOORS 1/2" ABOVE FINISHED FLOOR, TYP.
- WHOLE HOUSE VENTILATION SHALL BE TESTED, BALANCED AND VERIFIED AND A WRITTEN REPORT SHALL BE POSTED AND PROVIDED THE BUILDING OFFICIAL AND CERTIFICATION COMPLETED PER WSEC R403.2.
- AN EXHAUST FAN WHOLE HOUSE VENTILATION IS NOT ALLOWED WITH AN ERV SYSTEM.

BEDROOMS	4
HEATED SQUARE FOOTAGE	729.5 SF
CFM = 0.01(729.5 SF) + 7.5(4+1 BEDROOMS)	
AIRFLOW (CFM)	22.295 CFM MIN.

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY	
PERMIT SET	3/3/2026

STURMAN ARCHITECTS

REGISTERED ARCHITECT

BRADLEY J. STURMAN

STATE OF WASHINGTON

345 118TH AVE SE SUITE 130  
Bellevue, WA 98005

TEL: 425.451.7003

ROGERS ADU

5255 E MERCER WAY

MERCER ISLAND, WA 98040

SITE PLAN

PROJECT DATA

REVISIONS:


PLOT DATE: 3/3/2026

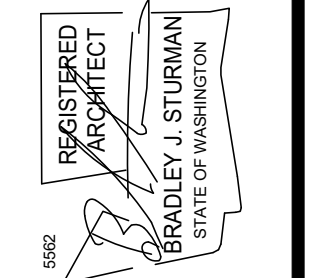
DRAWN BY: JM

CHECKED BY: BJS

SHEET

**A1.0**

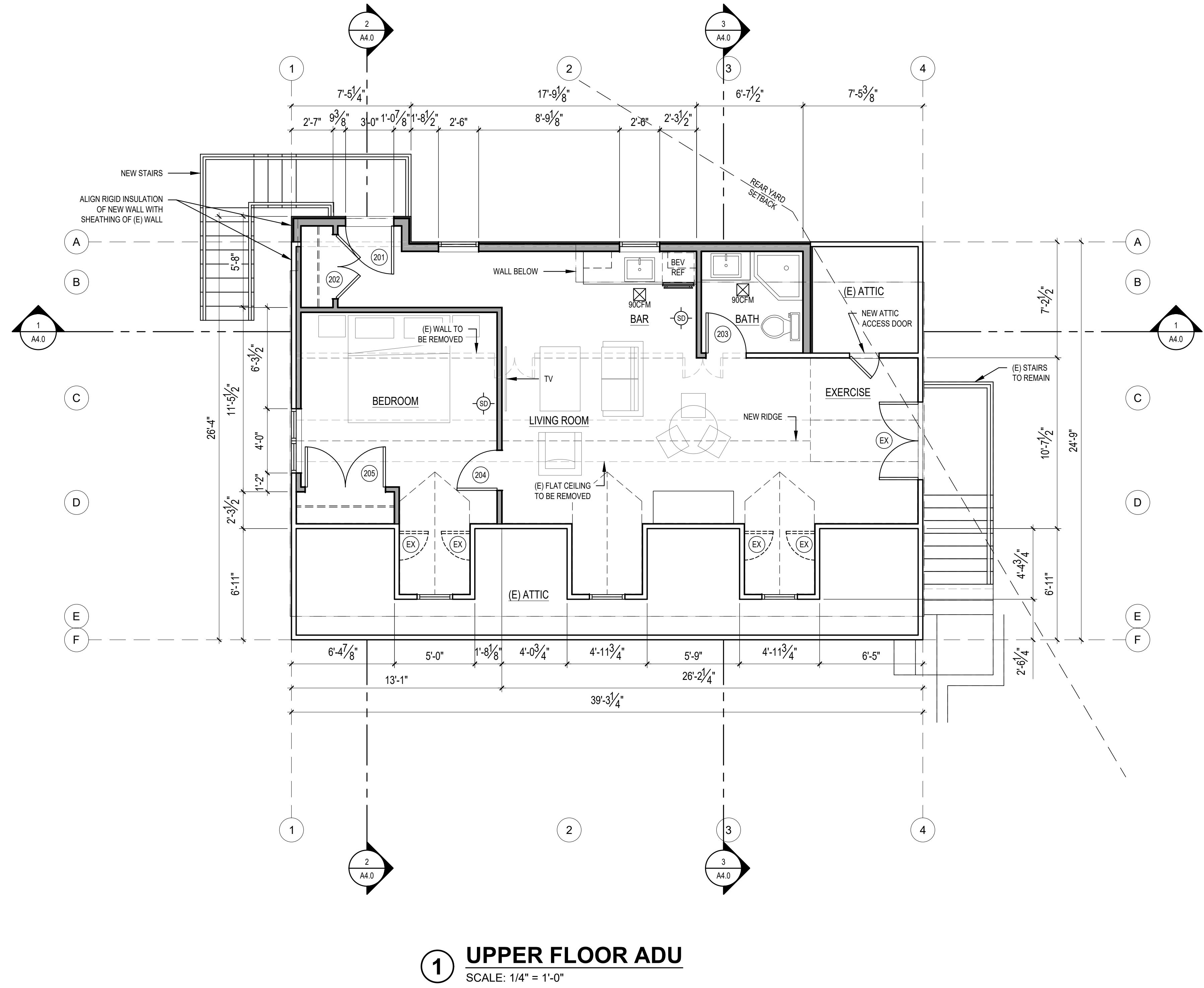
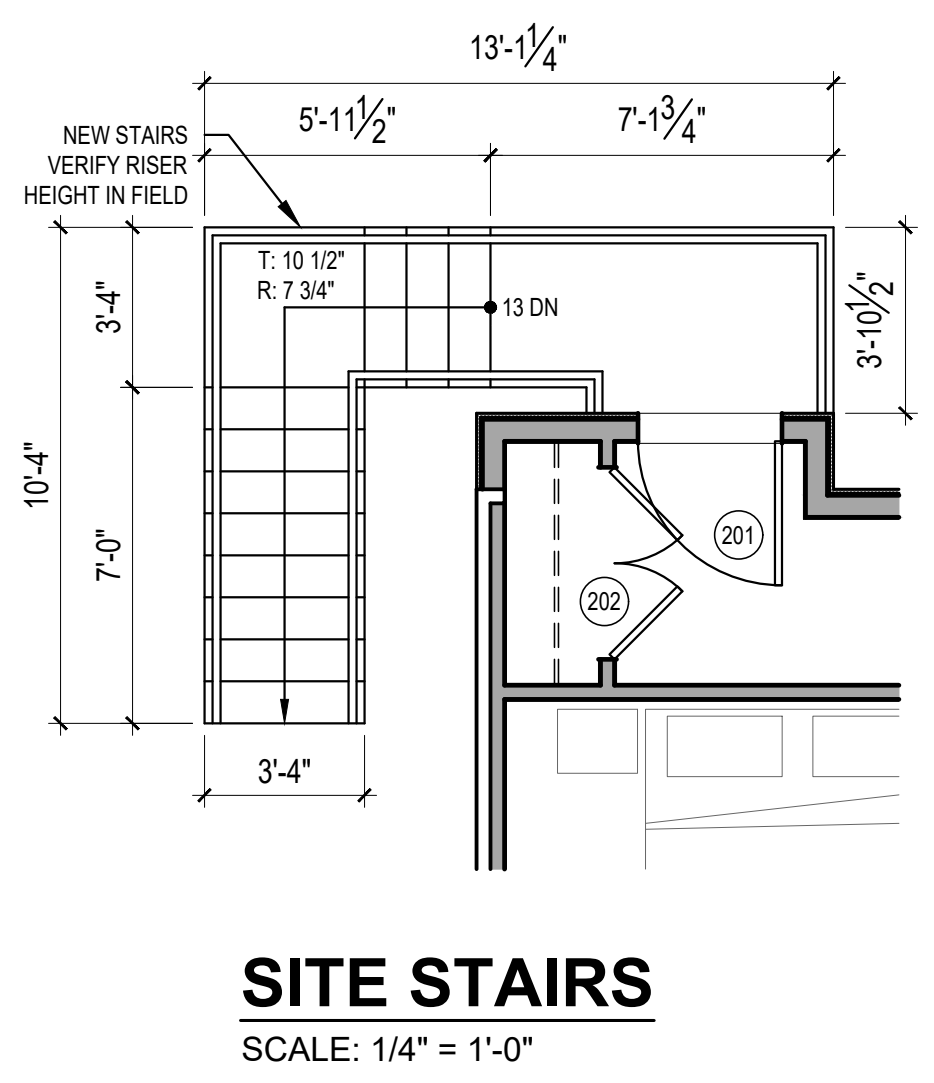




NO.	REVISIONS:

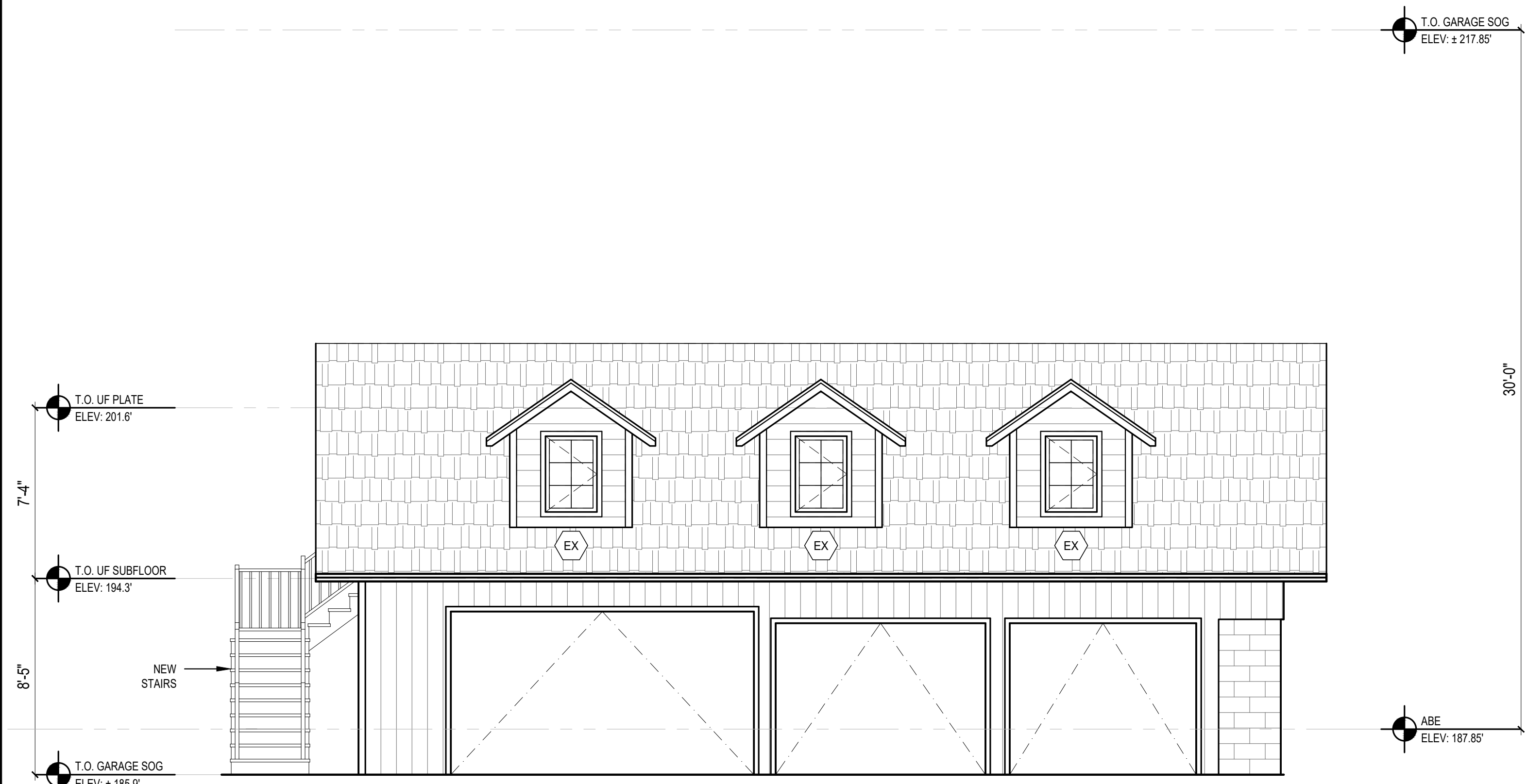
PLOT DATE: 3/3/2026  
 DRAWN BY: JM  
 CHECKED BY: BJS

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
 PERMIT SET 3/3/2026

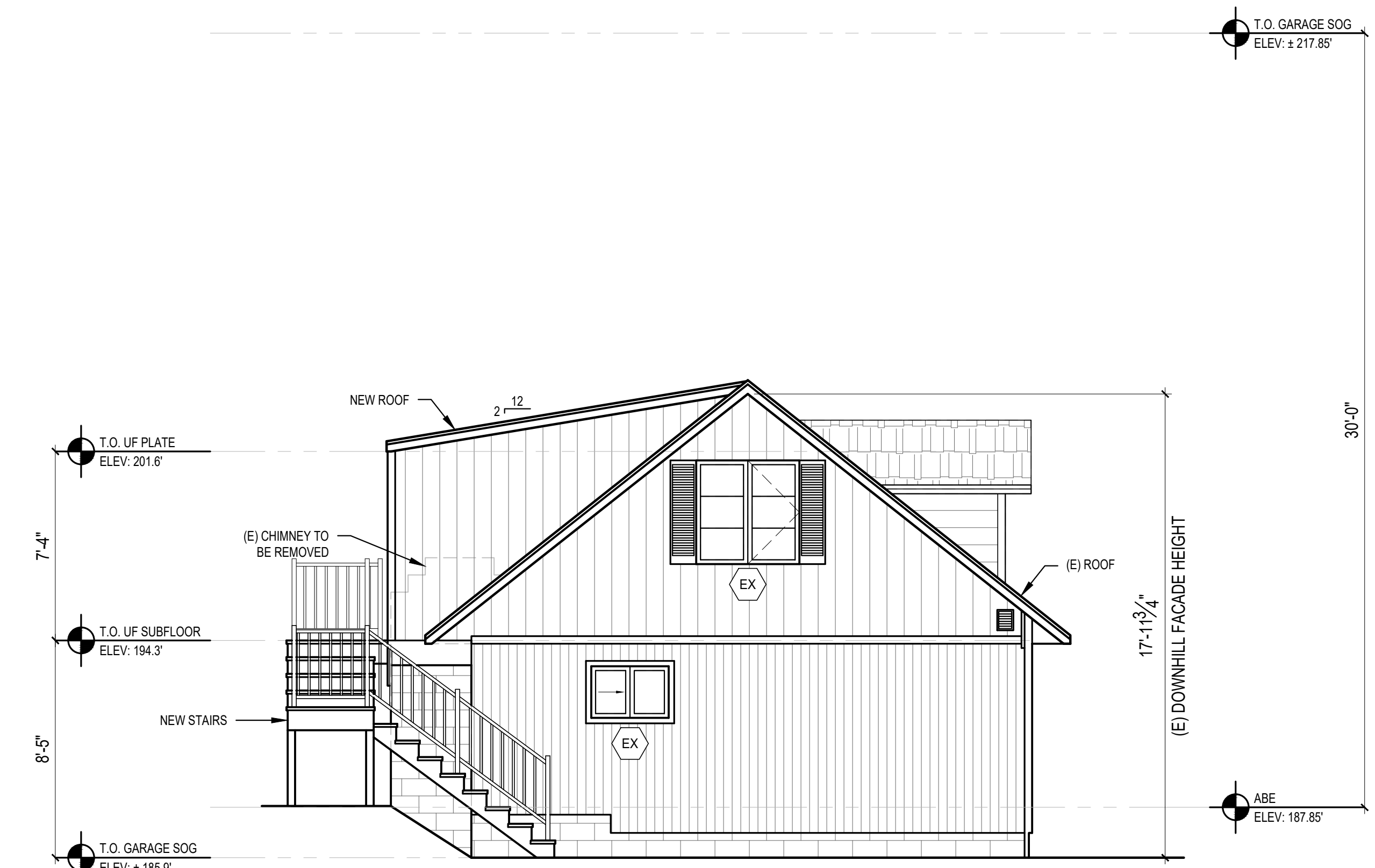


**1 UPPER FLOOR ADU**  
 SCALE: 1/4" = 1'-0"

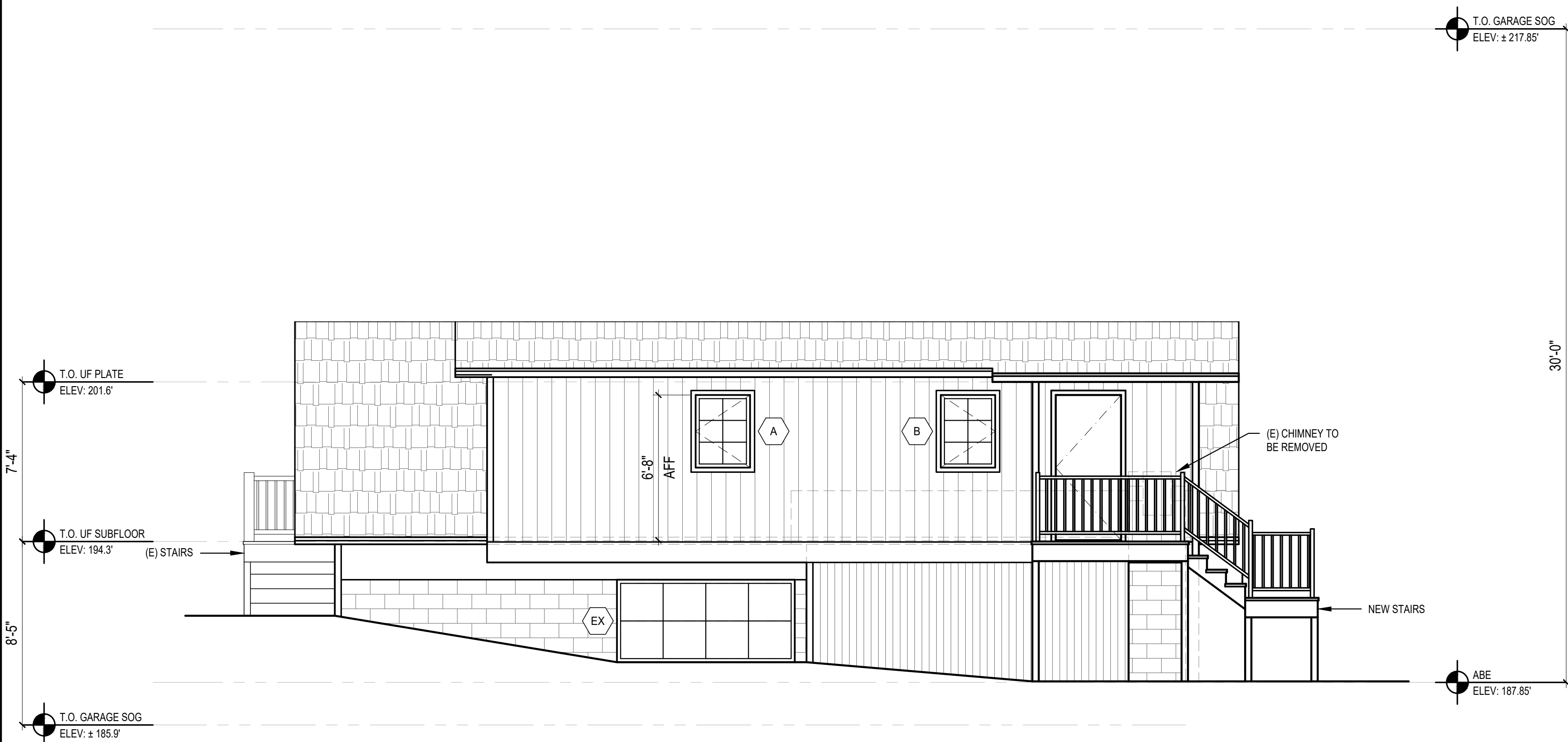




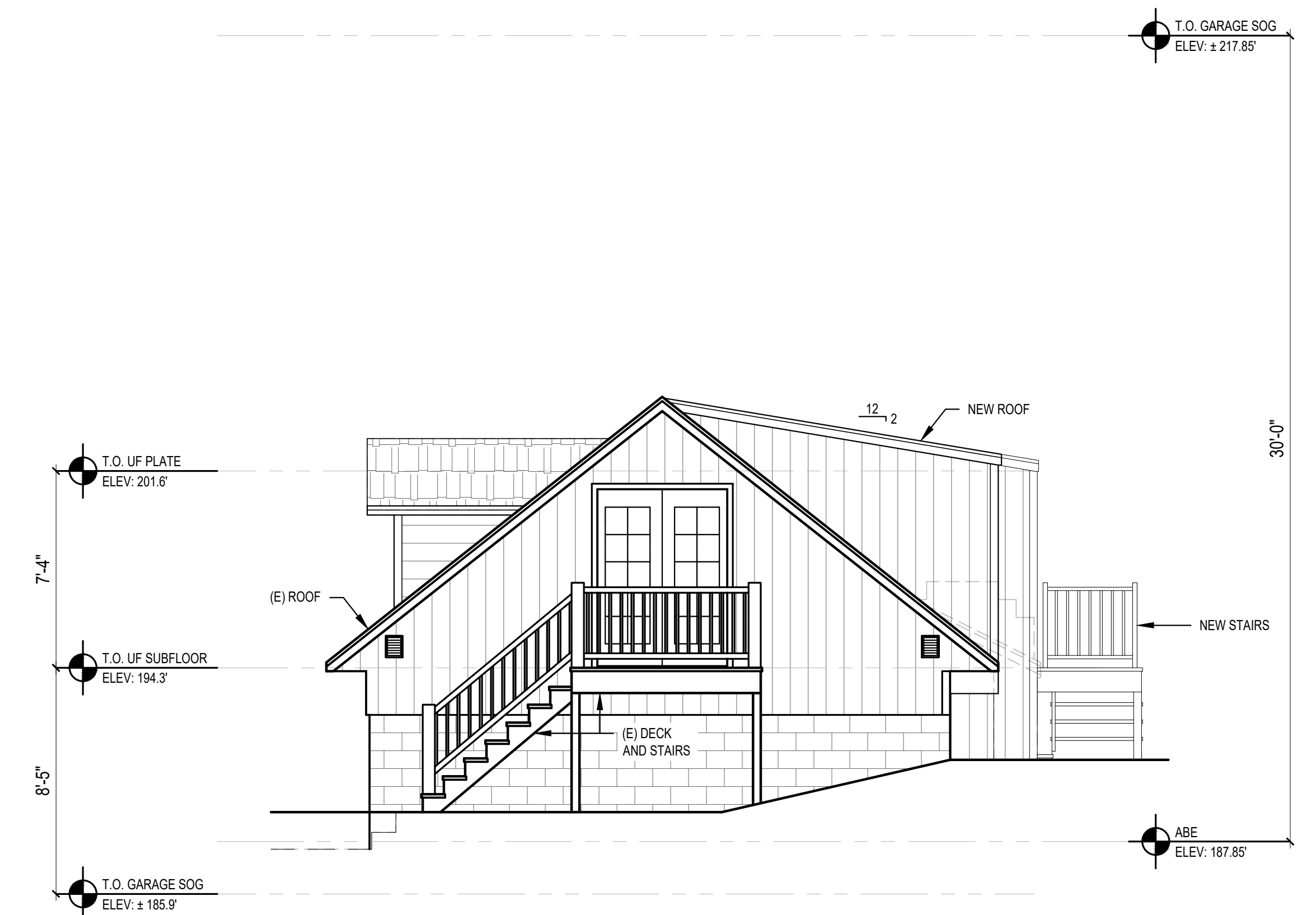
**1 EAST ELEVATION**  
SCALE: 1/4" = 1'



**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'

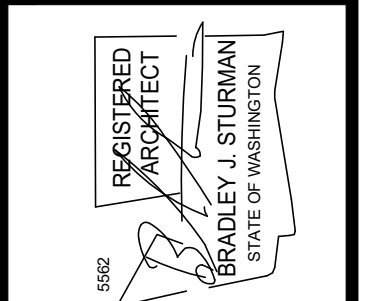


**3 WEST ELEVATION**  
SCALE: 1/4" = 1'



**4 NORTH ELEVATION**  
SCALE: 1/4" = 1'

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PERMIT SET 3/3/2026



www.sturmanarchitects.com  
All Rights Reserved  
© 2026

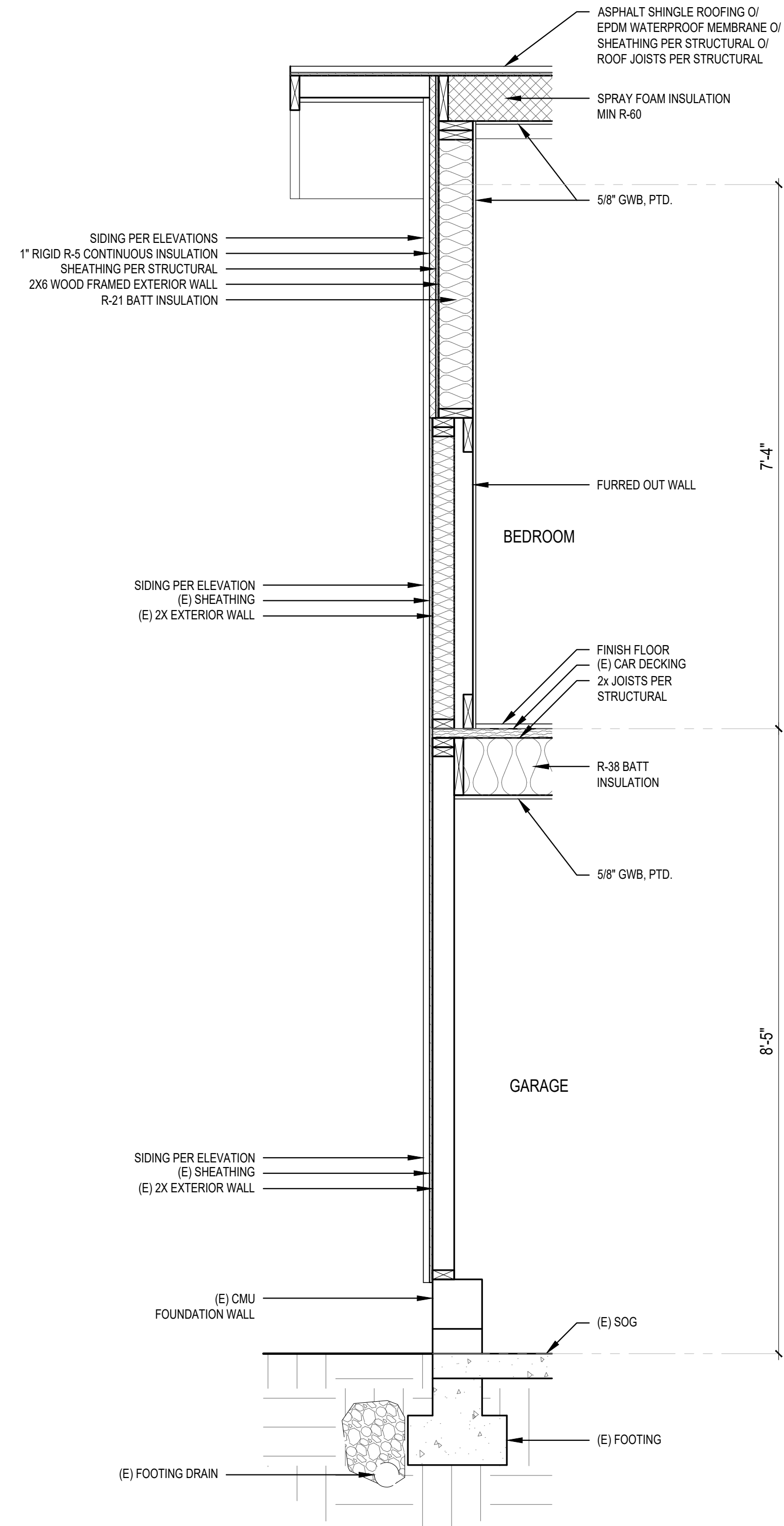
**ROGERS ADU**  
5255 E MERCER WAY  
MERCER ISLAND, WA 98040

**BUILDING ELEVATIONS**

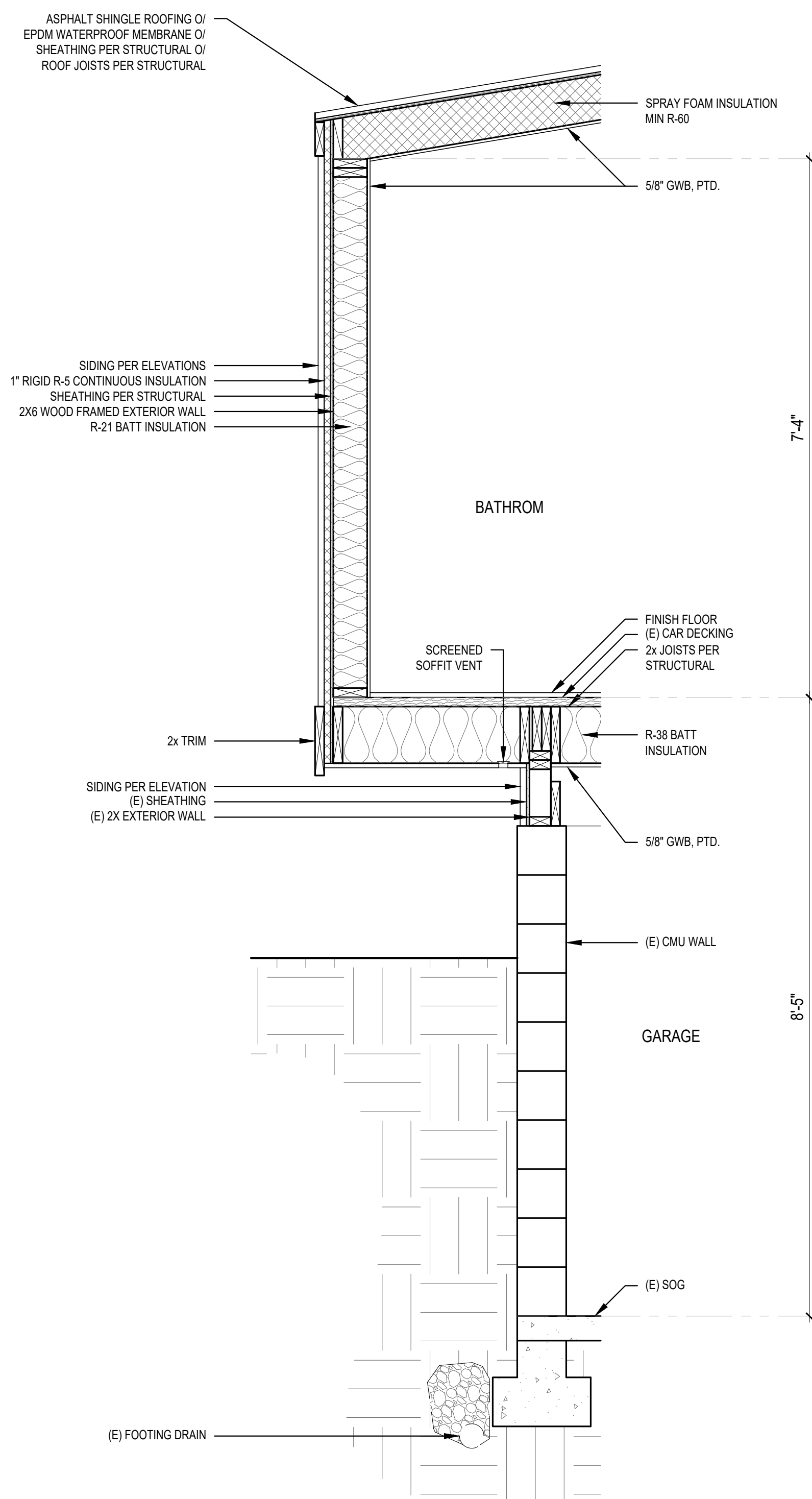
REVISIONS:	
PLOT DATE:	3/3/2026
DRAWN BY:	JM
CHECKED BY:	BJS
SHEET	

**A3.0**

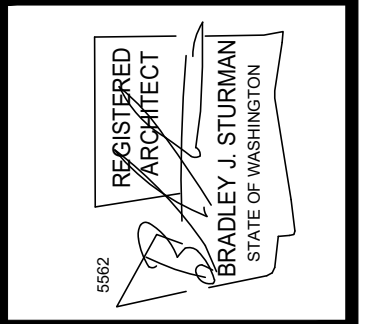




**1 WALL SECTION**  
SCALE: 3/4" = 1'-0"



**2 WALL SECTION**  
SCALE: 3/4" = 1'-0"

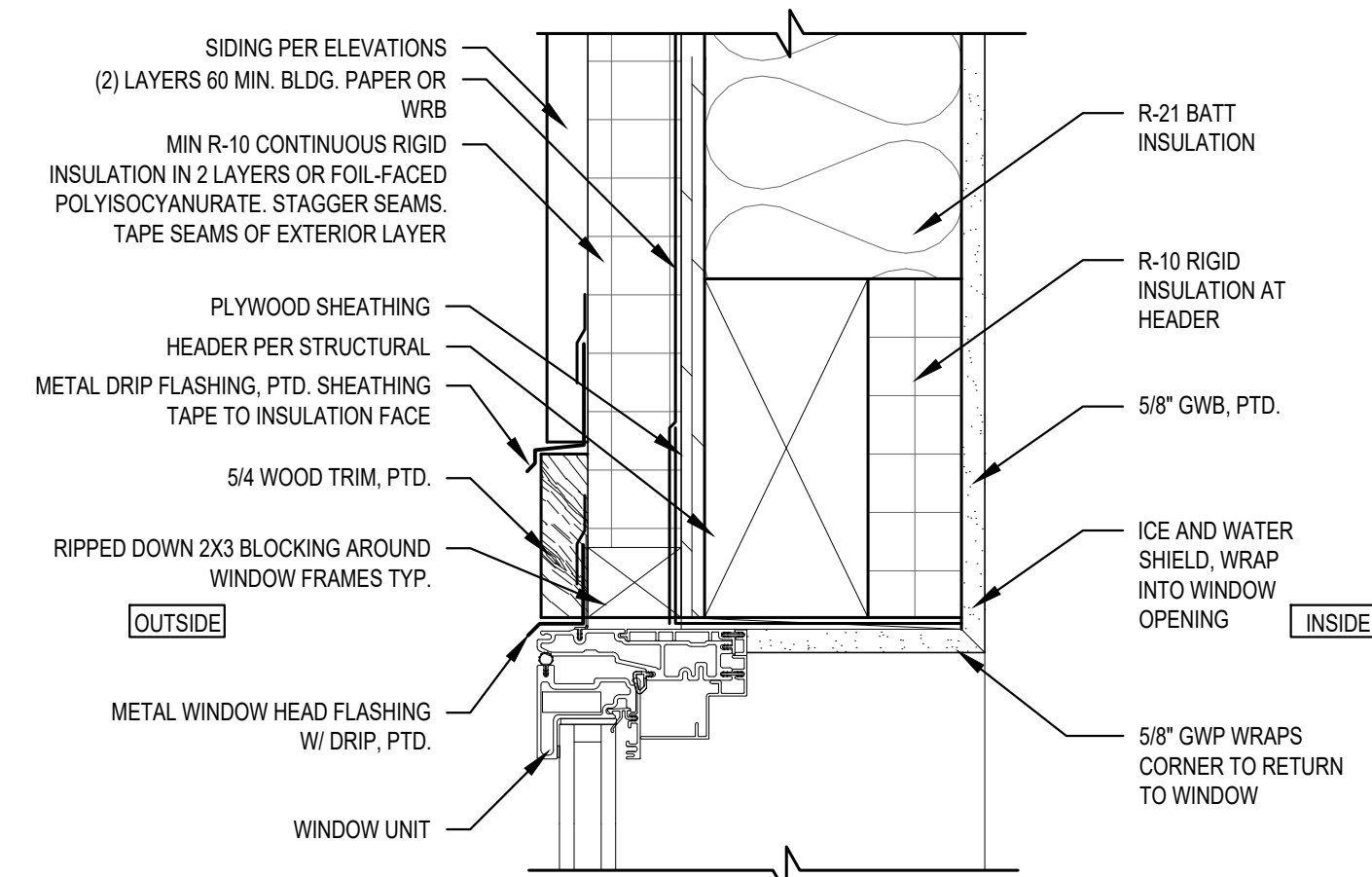


**WALL SECTIONS**

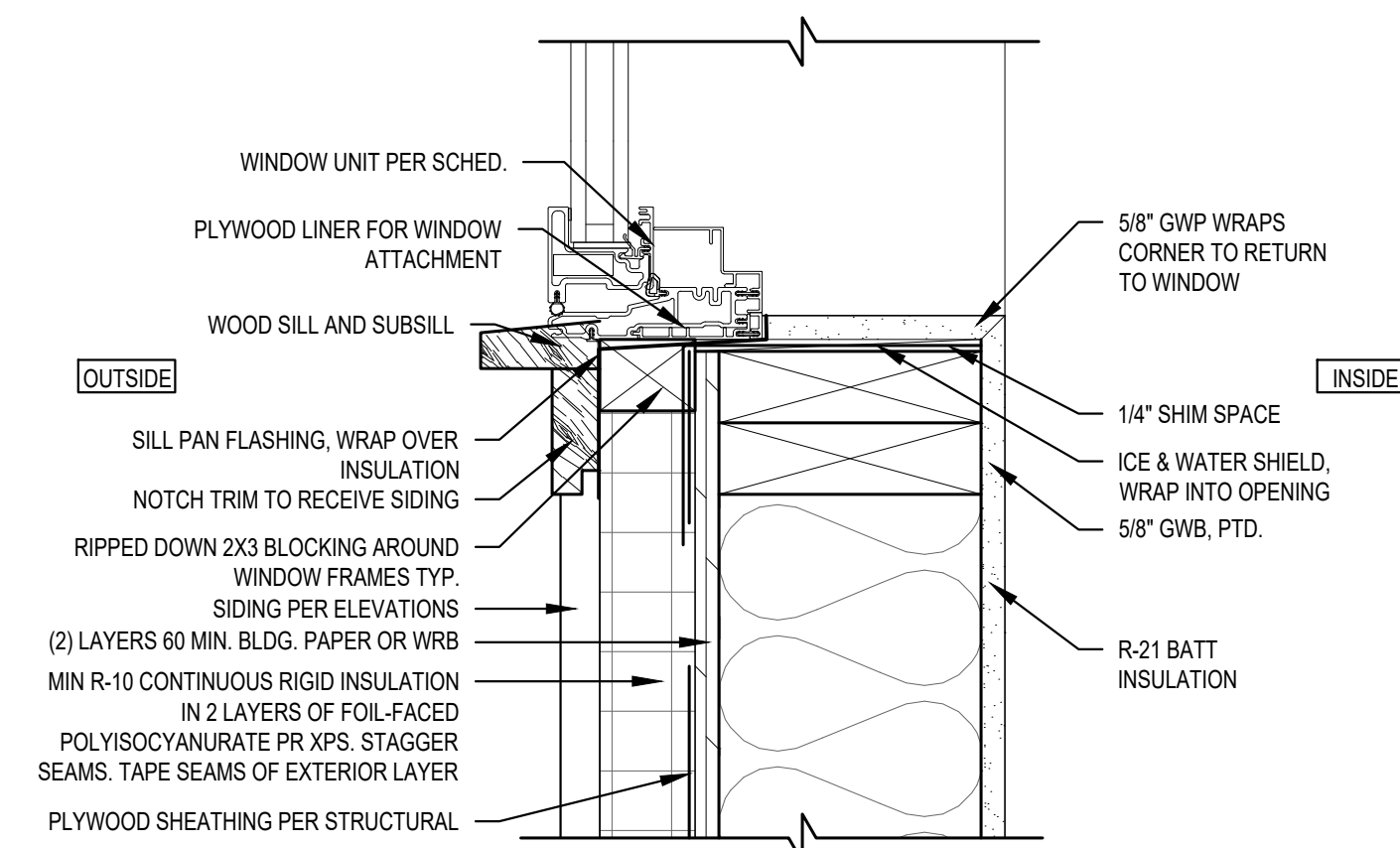
NO.	REVISIONS:	DATE

PLOT DATE: 3/3/2026  
DRAWN BY: JM  
CHECKED BY: BJS

SHEET  
**A5.0**

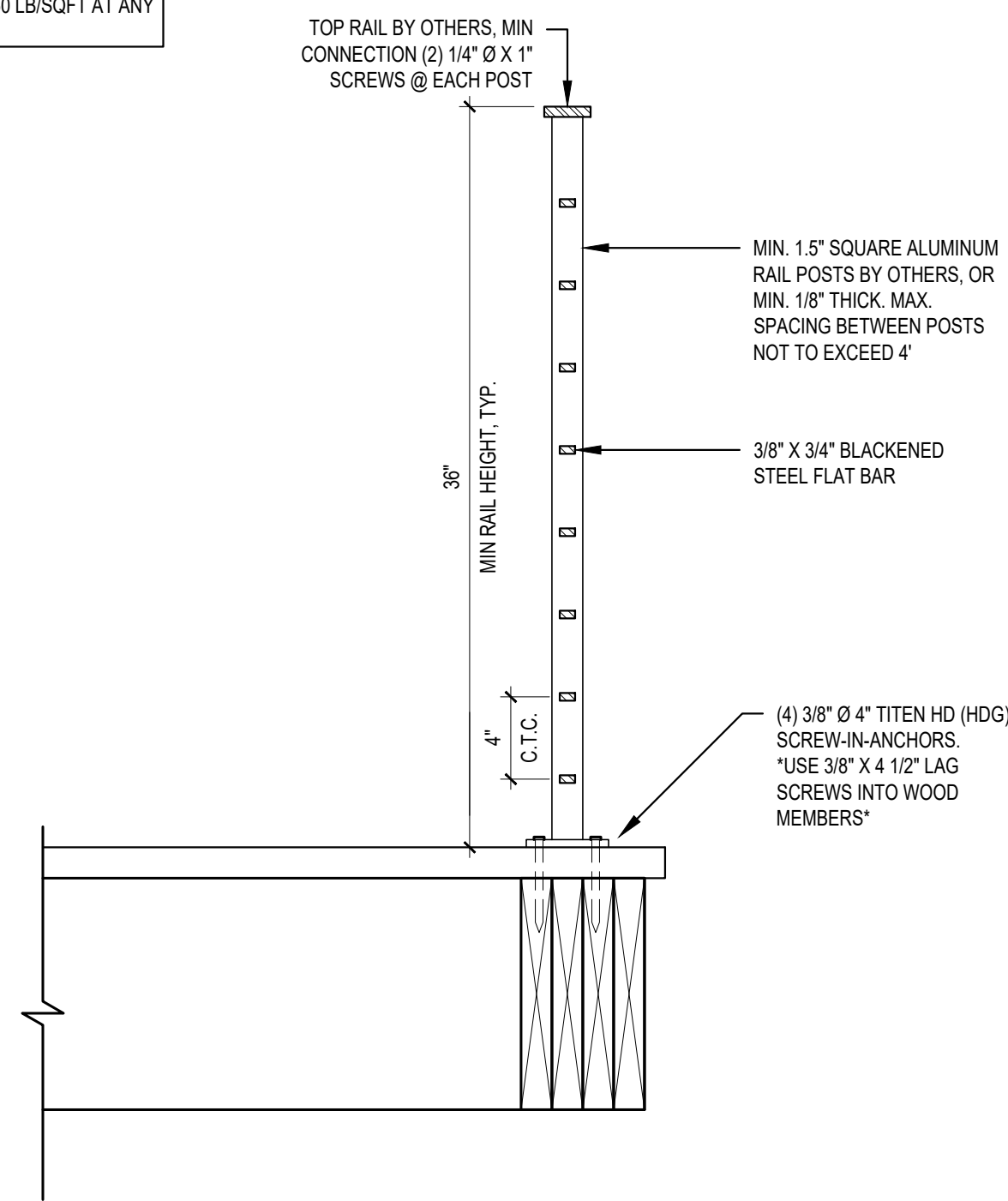


**1** **TYPICAL WINDOW HEAD DETAIL**  
SCALE: 3" = 1'-0"



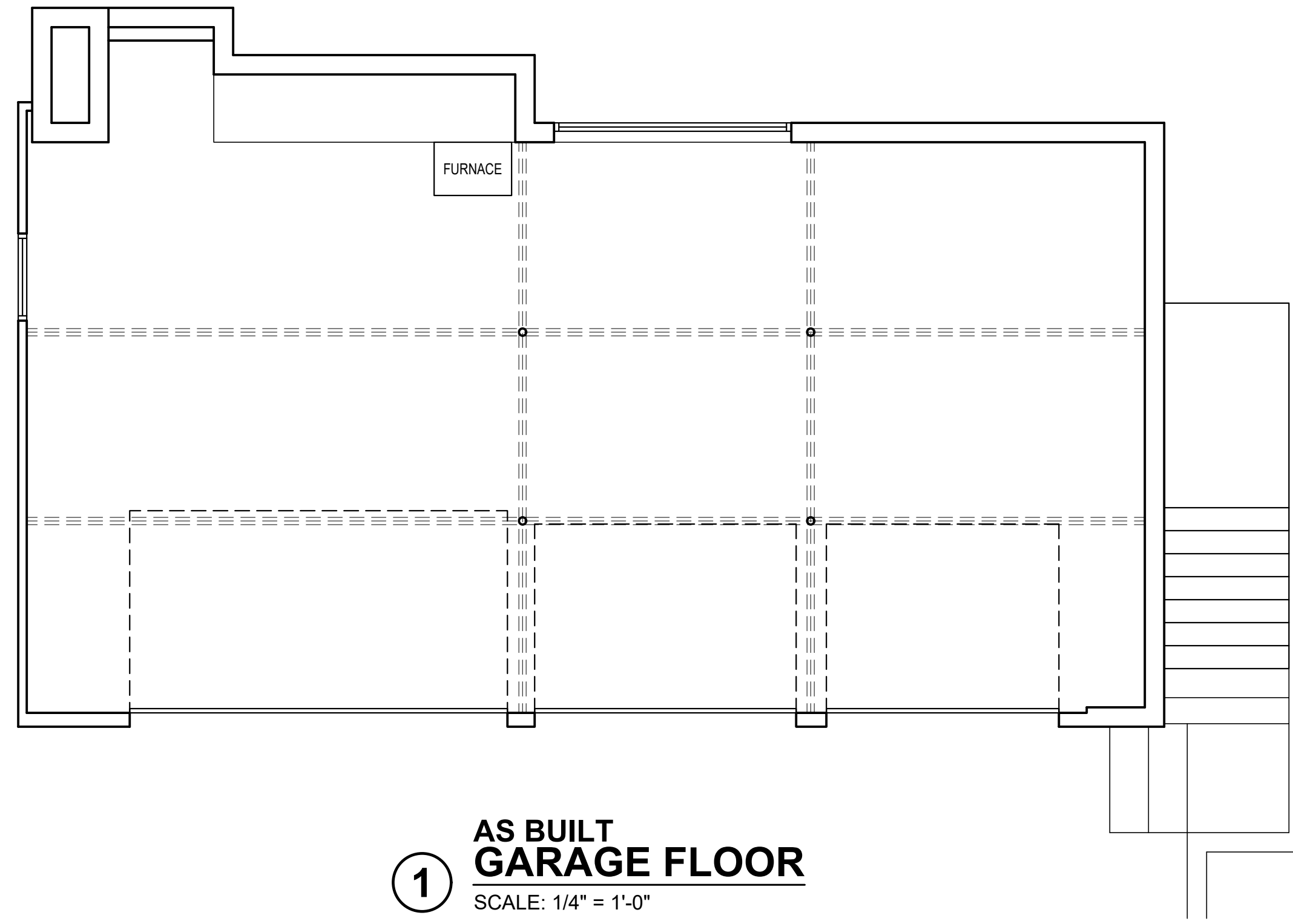
**2** **TYPICAL WINDOW HEAD DETAIL**  
SCALE: 3" = 1'-0"

CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS AND RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB LOAD ON TOP RAIL ACTING IN ANY DIRECTION AND A UNIFORM LOAD OF 50 LB/SQFT AT ANY LOCATION.

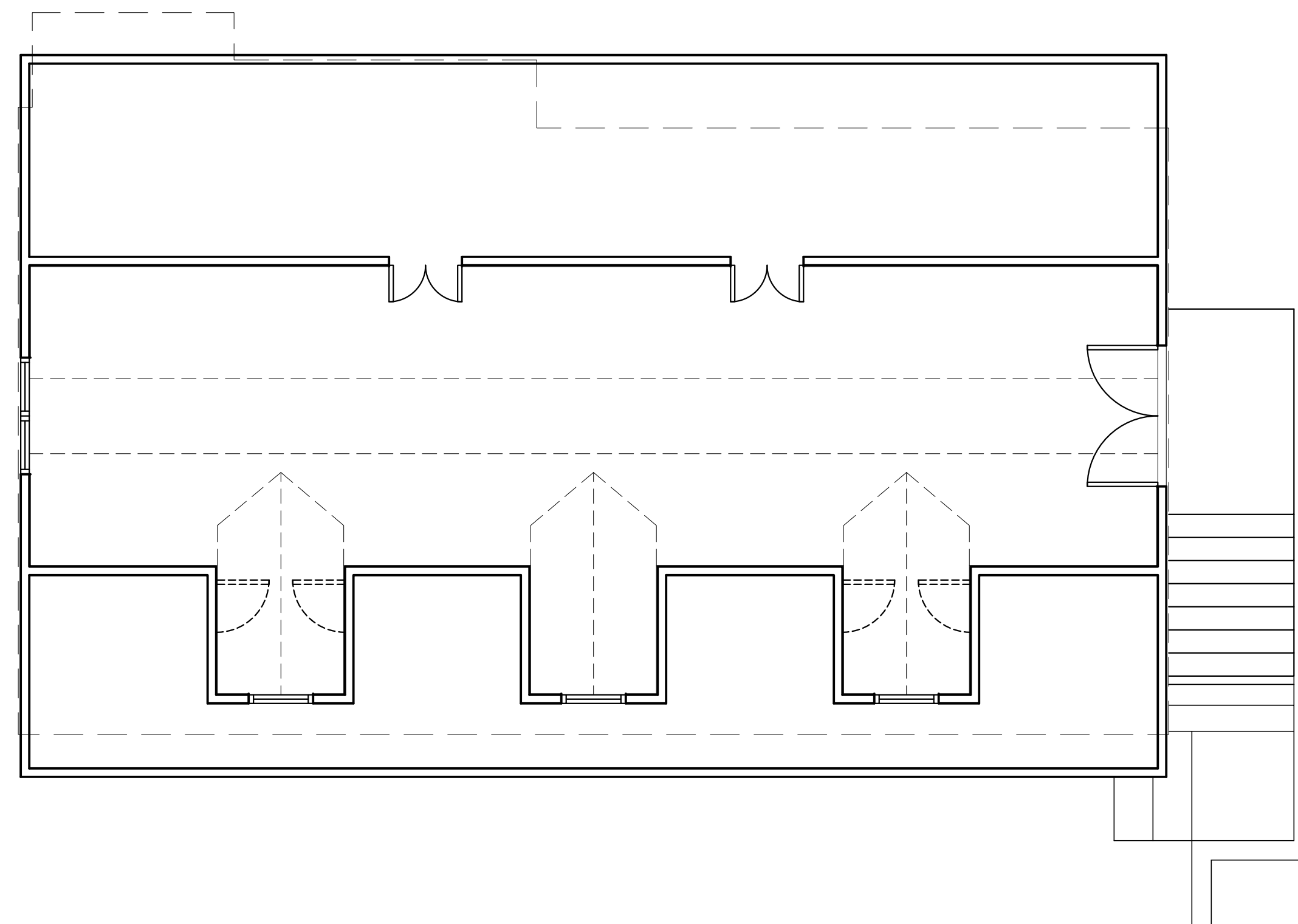


**3** **DECK GUARDRAIL CONNECTION**  
SCALE: 1 1/2" = 1'-0"

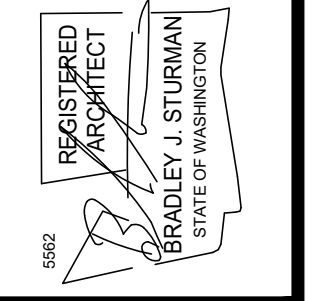
REVISIONS:	
PLOT DATE:	3/3/2026
DRAWN BY:	JM
CHECKED BY:	BJS
SHEET	



① **AS BUILT GARAGE FLOOR**  
SCALE: 1/4" = 1'-0"



② **AS BUILT GARAGE UPPER FLOOR**  
SCALE: 1/4" = 1'-0"



www.sturmanarchitects.com  
All Rights Reserved  
© 2026

**ROGERS ADU**  
5255 E MERCER WAY  
MERCER ISLAND, WA 98040

**GARAGE FLOOR AS BUILT**  
**2ND FLOOR AS BUILT**

REVISIONS:

PLOT DATE: 3/3/2026  
DRAWN BY: JM  
CHECKED BY: BJS

SHEET  
**AB1**

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PERMIT SET 3/3/2026





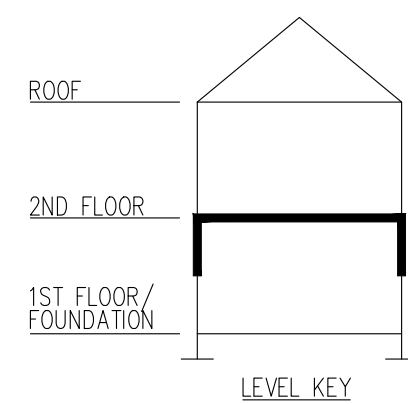
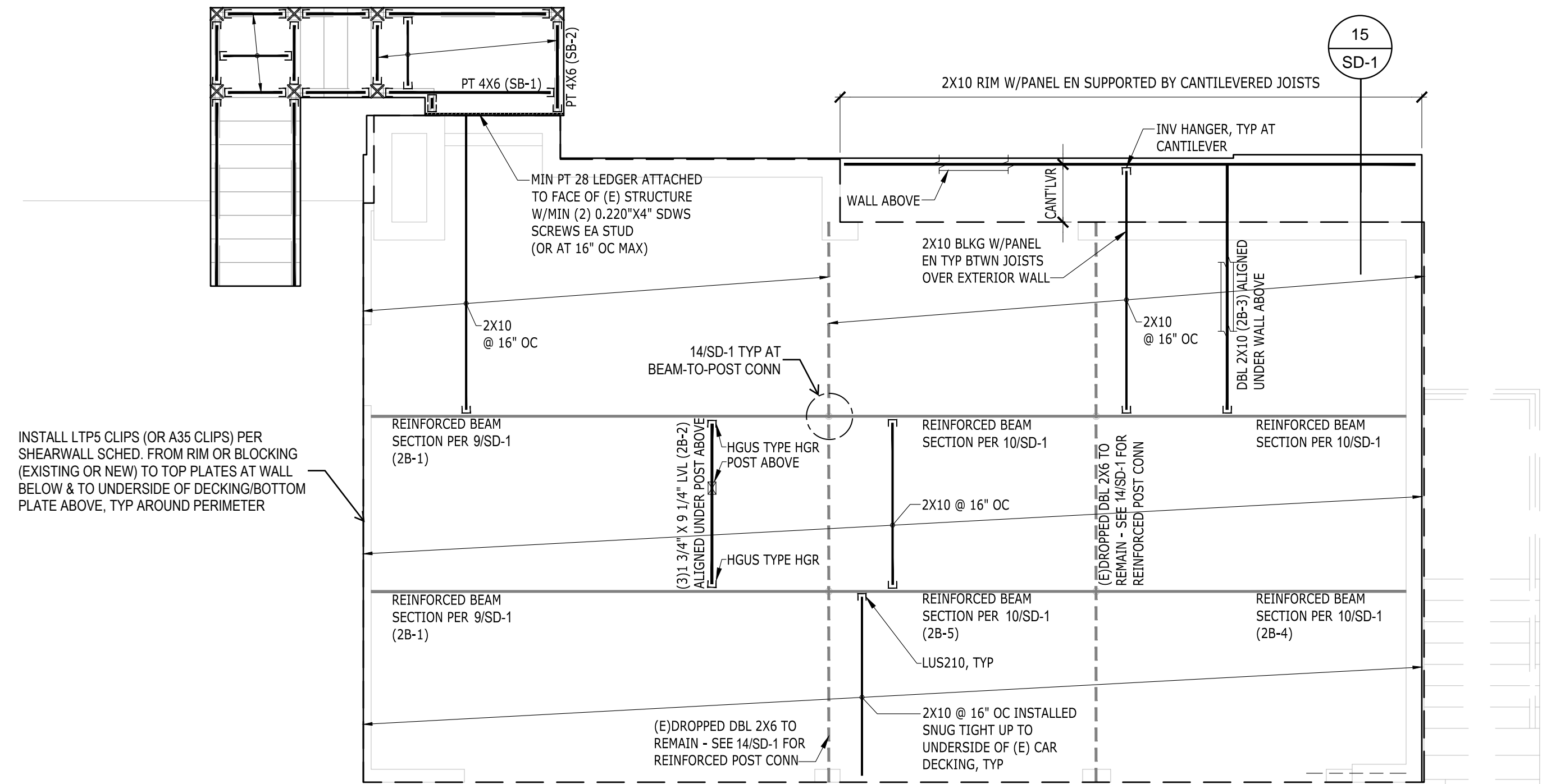




# FLOOR FRAMING NOTES

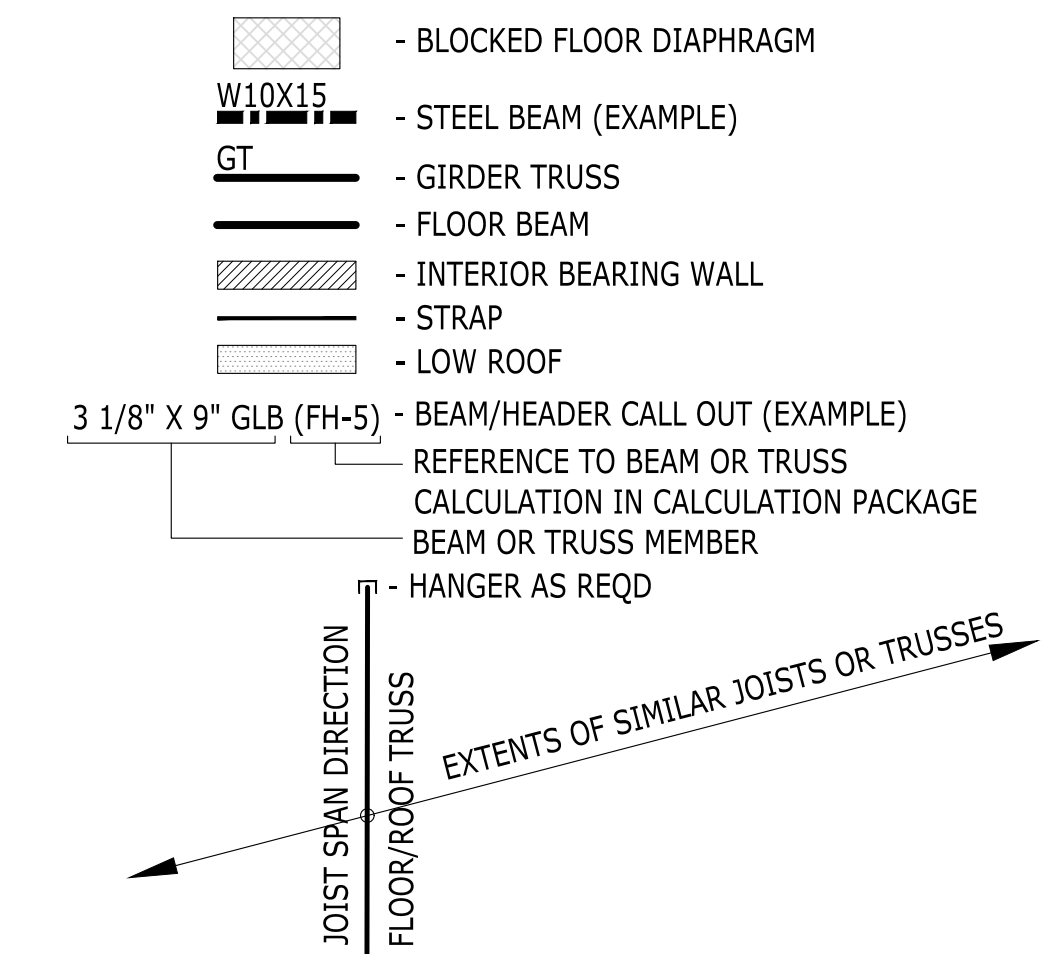
- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD. UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/B/EAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/B/EAM EQUAL T/JOISTS AND B/B/EAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/B/EAM EQUAL B/JOISTS AND T/B/EAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- TYPICAL DETAILS:
  - 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING

**TYPICAL STAIR FRAMING:**  
 LANDING JOISTS: PT 2X6 @ 16" OC (MIN)  
 LANDING BEAMS: PT 4X6 W/HUC46 HANGERS  
 STRINGERS: PT 4X10 (NOTCHED TO MAINTAIN MIN 3 1/2" THROAT DEPTH) W/HUC410 SLOPED SEAT AT TOP CONN & HUC410 FLAT SEAT AT BOTM CONN



SECOND FLOOR FRAMING PLAN

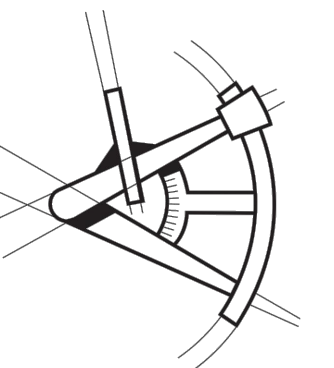
## FRAMING LEGEND



TYPICAL JOIST HANGER SCHEDULE			
TJ1210			
11 7/8"	2-PLY 11 7/8"	14"	2-PLY 14"
IUS2.06/11.88	MIU4.28/11	IUS2.06/14	MIU4.28/14
2X10			
1-PLY		2-PLY	
LUS210		LUS210-2	
TYPICAL BEAM HANGER SCHEDULE			
LVL / LSL / PSL			
1 3/4"	3 1/2"	5 1/4"	7"
11 7/8"	HUS1.81/10	HHUS410	HGUS5.50/12 HGUS7.25/12
14"	HUS1.81/10	HHUS410	HGUS5.50/14 HGUS7.25/14



LONGITUDE  
ONE TWENTY<sup>®</sup>  
ENGINEERING & DESIGN



### REVISIONS

Δ	DESCRIPTION	DATE	BY

### PROJECT NAME

ROGERS RESIDENCE  
REMODEL

5255 E MERCER WAY  
MERCER ISLAND, WA 98040

### PROJECT NUMBER

S251203-2

### DRAWN BY - BS

### CHECKED BY - HK

### SHEET DATE - 02/17/2026

### SCALE

24X36 SHEET: 1/4" = 1'-0"

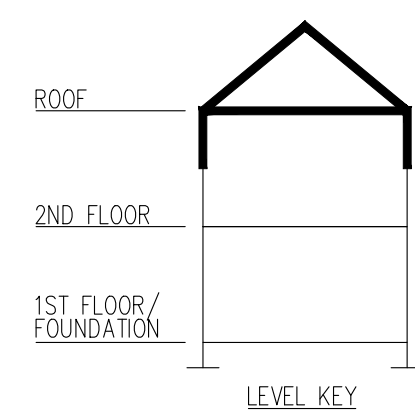
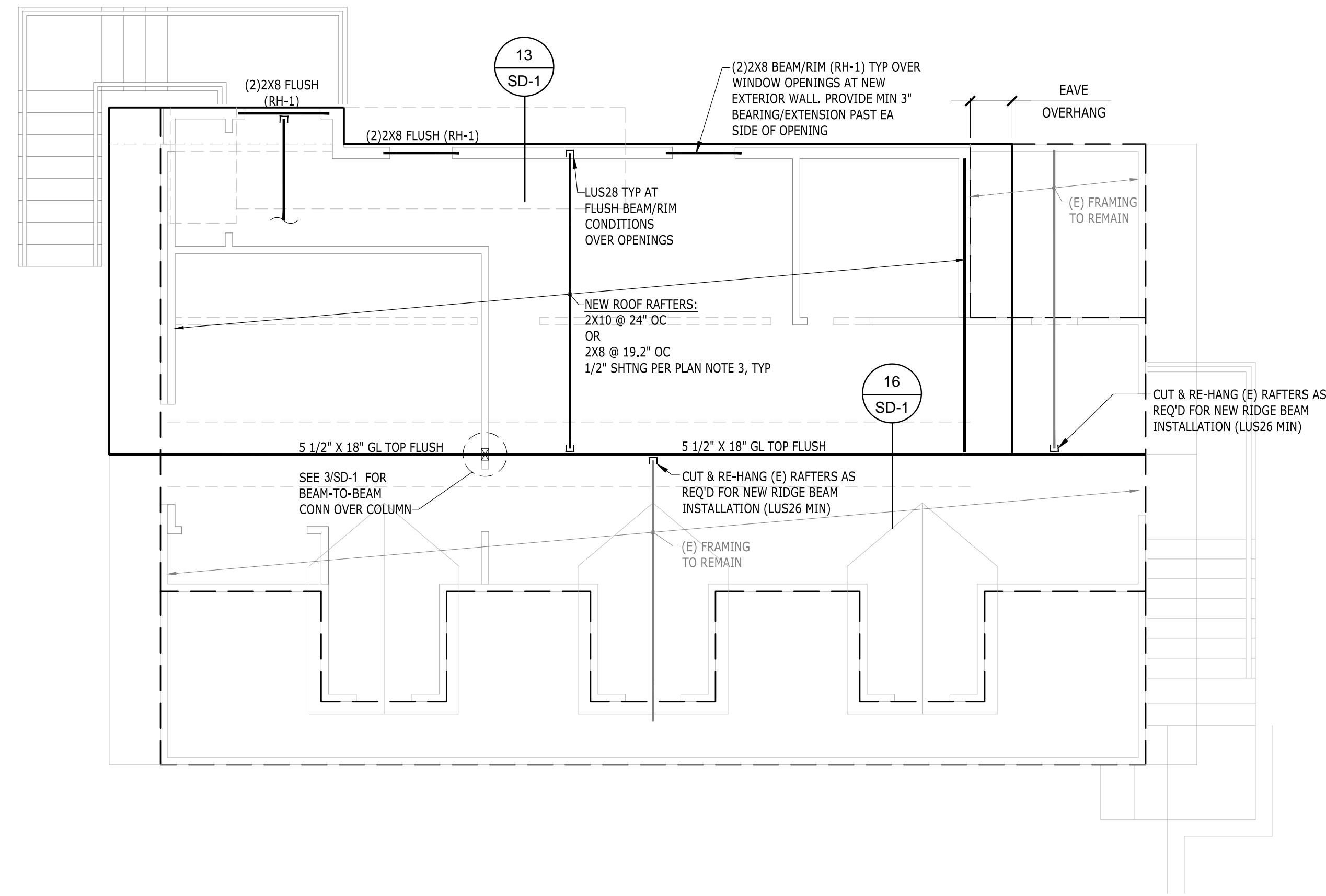
SECOND FLOOR FRAMING PLAN

DESCRIPTION

SHEET

S-4



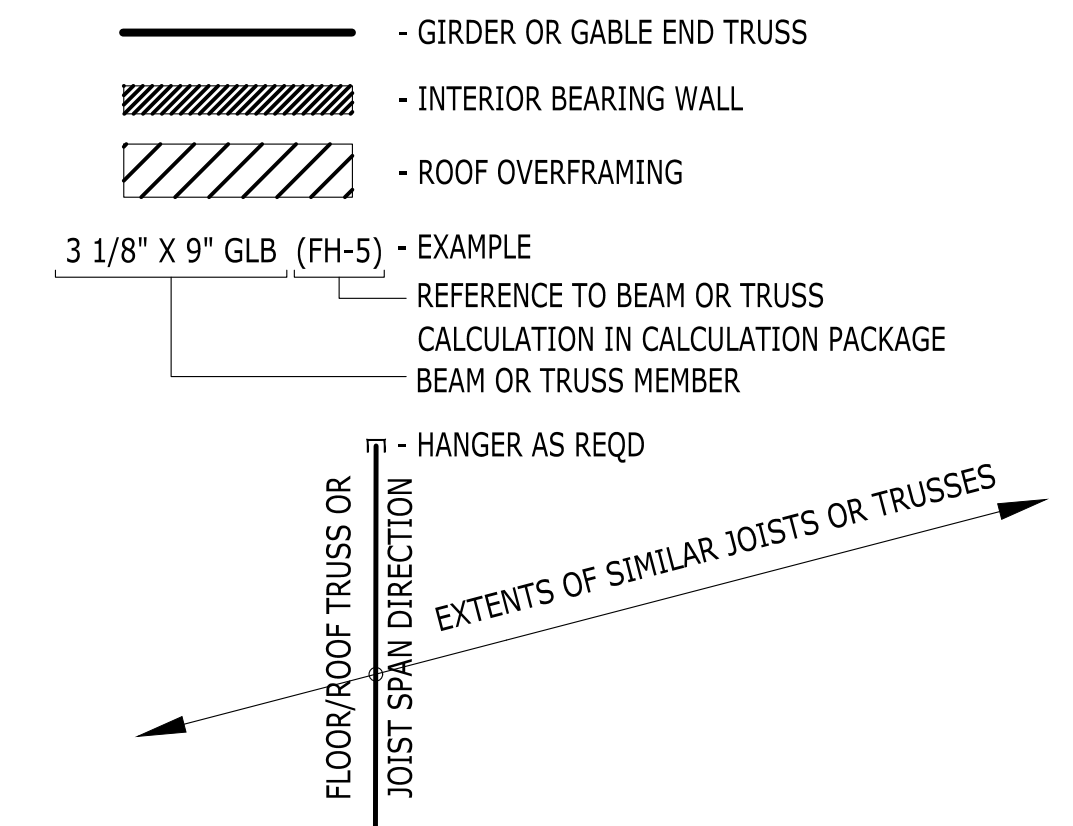


ROOF FRAMING PLAN

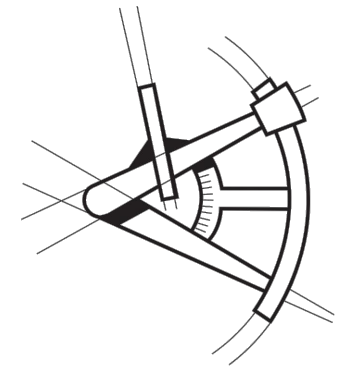
**ROOF FRAMING NOTES**

1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
3. ROOF SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
4. ALL ROOF TRUSSES SHALL BE SPACED NO FURTHER APART THAN 24" O.C. AND SHALL BE CONNECTED TO TOP PLATE WITH H2.5 TIE UNO.
5. ALL GIRDER TRUSSES SHALL BE CONNECTED TO TOP PLATE WITH TWO H6 TIES UNO.
6. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH ROOF FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
7. ALL BEAMS AND GIRDER TRUSSES SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
8. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
9. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN UNO.
11. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS. HANGERS FOR ROOF TRUSSES BY OTHERS.
12. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
13. ROOF COVERINGS AND ROOFING MATERIAL BY OTHERS.
14. ROOF DRAINAGE BY OTHERS.
15. ATTIC VENTILATION BY OTHERS.
16. FOR TYPICAL INSTALLATION DETAILS REFERENCE TO:
  - 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING

**FRAMING LEGEND**



**LONGITUDE**  
ONE TWENTY<sup>®</sup>  
ENGINEERING & DESIGN



REVISIONS

DESCRIPTION	DATE	BY

PROJECT NAME  
**ROGERS RESIDENCE REMODEL**

5255 E MERCER WAY  
MERCER ISLAND, WA 98040

PROJECT NUMBER  
**S251203-2**

DRAWN BY - BS

CHECKED BY - HK

SHEET DATE - 02/17/2026

SCALE  
24X36 SHEET: 1/4" = 1'-0"

DESCRIPTION  
**ROOF FRAMING PLAN**  
SHEET **S-6**

